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BOOK 36 PAGE 844

ENTERED FOR RECORD 15414

SEP 17 1993 3:55  
BOOK 137  
At 557-560  
Page 557-560  
HENDRICKS COUNTY RECORDER

PLAINFIELD TOWN COUNCIL  
ORDINANCE NO. 11-93

AN ORDINANCE ANNEXING CERTAIN TERRITORY CONTIGUOUS TO THE TOWN OF PLAINFIELD, INDIANA, PLACING THE SAME WITHIN THE CORPORATE BOUNDARIES THEREOF AND MAKING THE SAME A PART OF THE TOWN OF PLAINFIELD AND REDEFINING THE CORPORATE BOUNDARIES OF THE TOWN OF PLAINFIELD, INDIANA, REFERRED TO AS THE NORTH WEST ANNEXATION AREA

BE IT ORDAINED by the Town of Plainfield, Hendricks County, Indiana, that:

WHEREAS, the property sought to be annexed is situated outside the corporate boundaries of the municipal Town of Plainfield, Hendricks County, Indiana; but is one-fourth (1/4) contiguous to the corporate boundaries; and,

WHEREAS, in connection with I.C. 36-4-3-13 a written fiscal plan has been prepared by the Town of Plainfield's Town Manager for said annexation; and

WHEREAS, responsible planning and state law require adoption of a fiscal plan and a definite policy for the provision of services to annexed areas; and

WHEREAS, Plainfield Town Council Resolution 93-11 provides for the adoption of a written fiscal plan.

NOW THEREFORE, by the powers vested in the Town Council of the Town of Plainfield, Hendricks County, Indiana, it is hereby ORDERED AND ORDAINED that:

Section 1. In accordance with I.C. 36-4-3-1 et seq. which authorizes the Plainfield Town Council to declare and define the corporate boundaries of the Town of Plainfield, Indiana, said corporate boundaries are hereby extended to include said real estate, which real estate is more particularly described and attached hereto and made a part hereof and marked Exhibit "A".

Section 2. The above described annexation is done in accordance with I.C. 36-4-3-1 et seq. and that the Town of Plainfield has prepared a fiscal plan and study on said annexation which plan has been adopted by the Plainfield Town Council Resolution No. 93-11 on June 14, 1993.

ENTERED FOR RECORD

BOOK 137 JUL 29 1993 AT 11:10  
Page 544-46  
HENDRICKS COUNTY RECORDER  
BOOK PAGE 557

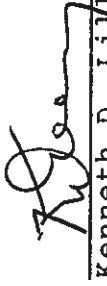
Section 3. The territory annexed by this Ordinance is assigned to Town Council Ward No. 1.

Section 4. The sections, paragraphs, sentences, clauses and phrases of this ordinance are separable, and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional, invalid or unenforceable by the valid judgment or decree of a court of competent jurisdiction, such unconstitutionality, invalidity or unenforceability shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this ordinance.

Section 5. This ordinance shall be in full force and effect from and after its passage, approval and publication according to law.

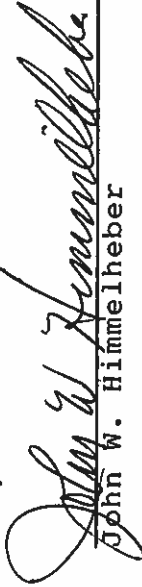
SAID ORDINANCE OF ANNEXATION is hereby passed and adopted this 12th day of July, 1993.  
TOWN COUNCIL, TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA:

  
Robin G. Brandgard

  
Kenneth D. Lilly

  
Robert M. Ward

  
Judith W. Underwood

  
John W. Himmelheber

Constituting a majority of all of the members of the Town Council

ATTESTED BY:



Juliana Mitchell, Clerk-Treasurer of the Town of Plainfield, Indiana

PUBLISH: MESSENGER - July 15, 1993  
July 22, 1993

A part of Section 27 and Section 34, both in Township 15 North, Range 1 East of the Second Principal Meridian in Guilford Township, Hendricks County, Indiana, said part being more particularly described as follows:

Commencing at the southwest corner of the northwest 1/4 of said Section 34; thence North 00° 01' 20" East (assumed bearing) along the west line of said 1/4 section a distance of 356.40 feet to the centerline of Old Cumberland Road as per Indiana State Highway Commission Plans for Project F.A. 15, and also being the beginning point of a previous annexation ordinance to the Town of Plainfield, Ordinance Number 3, 1960; thence North 66° 30' 00" East along the centerline of said Cumberland Road a distance of 585.50 feet; thence North 66° 41' 00" East along said centerline a distance of 1514.62 feet to the northwesterly corner of a tract of land as described in Deed Book 306, Page 884 in the Office of the Recorder of Hendricks County, Indiana, and being the POINT OF BEGINNING of this description; thence continuing North 66° 41' 00" East along said centerline a distance of 213.00 feet to the intersection of said Cumberland Road with the centerline of Vestal Road; thence North 23° 00' 41" West a distance of 372.22 feet to the southeast corner of Wincher Heights, Parcel B, as recorded in Plat Book 5, Page 1, in the Office of said Recorder; thence South 66° 53' 39" West along the southerly line of said plat a distance of 569.06 feet to the southwesterly corner of said plat; thence North 21° 11' 21" West along the westerly line of said plat a distance of 625.00 feet to the northwesterly corner of said plat, and being the southwesterly corner of Wincher Heights, Parcel A, as recorded in Plat Book 4, Page 66, in the Office of said Recorder; thence North 21° 12' 57" West along the westerly boundary of said plat a distance of 675.31 feet to the northwesterly corner of said plat; thence North 66° 53' 13" East along the northerly line of said plat a distance of 529.30 feet to the northeasterly corner of said plat and being the centerline of Vestal Road (the next 3 calls are along the centerline of Vestal Road); North 26° 38' 19" West a distance of 71.93 feet; North 15° 29' 03" West a distance of 60.14 feet; North 02° 35' 28" West a distance of 904.73 feet to the intersection of said road with the southerly right-of-way line of the former P.C.C. and St. Louis Railroad Company as described in Quit Claim Deed per Deed Record 296, Page 806, in the Office of the Recorder of Hendricks County, Indiana, (the next 4 calls are along the southerly boundaries of said Deed Record 296, Page 806); North 75° 40' 23" East a distance of 728.79 feet; North 73° 21' 09" East a distance of 466.93 feet; North 16° 38' 51" West a distance of 10.00 feet; North 73° 21' 09" East a distance of 103.36 feet to the intersection of said right-of-way line with the east bank of White Lick Creek (the next 15 calls are along the easterly bank of White Lick Creek); South 09° 33' 39" East a distance of 650.32 feet; South 25° 27' 44" East a distance of 155.48 feet; South 53° 49' 46" East a distance of 110.65 feet; South 65° 13' 07" East a distance of 167.09 feet; South 43° 21' 05" East a distance of 256.67 feet; South 17° 10' 14" East a distance of 300.44 feet; South 01° 00' 58" East a distance of 59.26 feet; South 08° 25' 30" West a distance of 117.97 feet; South 11° 08' 44" West a distance of 345.89 feet; South 19° 48' 23" East a distance of 154.33 feet; South 18° 01' 40" East a distance of 116.51 feet; South 59° 38' 21" East a distance of 99.54 feet; South 83° 07' 31" East a distance of 18.99 feet; South 82° 25' 18" East a distance of 175.83 feet; South 23° 41' 14" East a distance of 34.77 feet to the intersection of said east bank with the current centerline of U.S. Highway 40 (the next 3 calls are along the current centerline of U.S. 40); South 66° 18' 46" West a distance of 137.85 feet; South 65° 51' 54" West a distance of 682.37 feet; South 65° 34' 38" West a distance of 180.00 feet to the intersection of said centerline with the east line of the

JOB NO. 1211

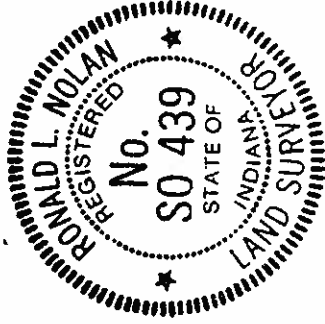
SAMUEL L. MOORE & ASSOCIATES, INC. Consulting Engineers	TOWN OF PLAINFIELD, INDIANA
ANNEXATION DESCRIPTION	

Southwest 1/4 of said Section 34 and being on the east line of a 0.94 acre tract of land as described in Deed Book 242, Page 383 in the Office of said Recorder; thence South 00° 28' 26" East along said east line a distance of 646.43 feet more or less to the southeasterly corner of a 2.49 acre tract of land per Deed 250, Page 292, in the Office of said Recorder; thence South 71° 20' 10" West along the southerly line of said 2.49 acre tract and the southerly lines of a 1.87 acre tract as described in Deed Book 279, Page 189, and a 1.87 acre tract as described in Deed Book 280, Page 41, in the Office of said Recorder to the southwesterly corner of the 1.87 acre tract as described in Deed Book 280, Page 41; thence North 14° 40' 33" West a distance of 379.50 feet to the southeasterly corner of a tract of land as described in Deed Book 306, Page 883, in the Office of said Recorder (the next 2 calls are along the southerly and westerly sides of the parcel described in Deed Book 306, Page 883); South 65° 44' 00" West a distance of 69.30 feet; North 24° 44' 00" West a distance of 182.16 feet to the point of beginning. Containing 114.161 acres, more or less. Subject to all legal highways, rights-of-ways, easements and restrictions of record. This description is based upon field measurements and records from the Hendricks County Courthouse, the Indiana State Highway Commission and the Town of Plainfield. This description is to be used for annexation purposes only and should not be used to transfer title or the changing of ownership of this description.

CERTIFIED: SEPTEMBER 13, 1993

*Ronald L. Nolan*

RONALD L. NOLAN  
REGISTERED LAND SURVEYOR  
#S0439



JOB NO. 1211

SAMUEL L. MOORE & ASSOCIATES, INC. Consulting Engineers	TOWN OF PLAINFIELD, INDIANA  ANNEXATION DESCRIPTION
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