

*FILED
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Response filing*

**DETAILED DEVELOPMENT
STANDARDS**

**NOTTINGHILL
SUBDIVISION**

**A project located in the Town of Plainfield
Hendricks County, Indiana**

SECTION 28, TOWNSHIP 15 NORTH, RANGE 1 EAST

DEVELOPER:

ARK DEVELOPERS
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**DECEMBER 3, 1999
REVISED JANUARY 7, 2000**

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There will be two particular areas of development shown within this planned unit development subdivision to be known as NOTTINGHILL which are shown on the enclosed attached drawing, Exhibit "A"- General Preliminary Plan. The following are the development standards and permitted uses for each area.

AREA "A" – Condominiums

Development Standards:

1. Minimum *Lot Area* – 6,600 square feet
Town of Plainfield public water and sanitary sewer facilities shall be mandatory for this development.
2. Minimum *Lot Width* – 60 feet
3. Minimum *Lot Frontage* – 25 feet on a *Public Street* and gain direct *Access* from said *Public Street*.
4. Maximum *Lot Coverage* – 45 Percent
5. *Minimum Yards and Building Setbacks*
 - a. Front – a minimum *Front Yard* and *Building Setback* measured from the *Proposed Right-of-Way* shall be provided as follows:

<i>Primary Arterial Street:</i>	60 feet
<i>Secondary Arterial Street:</i>	40 feet
<i>Collector Street:</i>	20 feet
<i>Local Street/Cul-de-Sac Street:</i>	20 feet
 - b. Side – a minimum *Side Yard* of 6 feet shall be provided along all *Side Lot Lines*.
 - c. Aggregate Side – a minimum *Aggregate Side Yard* of 12 feet shall be provided on all *Lots*.
 - d. Rear – a minimum *Rear Yard* shall be provided along all *Rear Lot Lines* as follows:
 - (1) *Primary Building* – 20 feet

6. *Maximum Building Height* –
 - a. *Primary Building* – 35 feet
7. *Minimum Main Floor Area* – The minimum *Main Floor Area* of the *Primary Building*, exclusive of *Garage, Carport, Deck, Patio* and open *Porches*:
 - a. *One-Story Building* – 1,700 square feet
 - b. *Two of More Story Building* – 1,700 square feet
8. *Off-Street Parking* – each *Dwelling Unit* shall be provided with at least two (2) *Off-Street Parking Spaces*.
9. *Signs* – will be as presented with these detailed development standards

AREA "B" – Single Family Residence

Development Standards:

1. *Minimum Lot Area* – 60,000 square feet
Town of Plainfield public water and sanitary sewer facilities shall be mandatory for this Development.
2. *Minimum Lot Width* – 90 feet
3. *Minimum Lot Frontage* – 90 feet on a *Public Street* and gain direct *Access* from said *Public Street*.
4. *Maximum Lot Coverage* – 25 percent
5. *Minimum Yards and Buildings Setbacks*
 - a. *Front* – a minimum *Front Yard* and *Building Setback* measured from the *Proposed Right-of-Way* shall be provided as follows:

<i>Primary Arterial Street:</i>	60 feet
<i>Secondary Arterial Street:</i>	40 feet
<i>Collector Street:</i>	30 feet
<i>Local Street/Cul-de-Sac Street:</i>	30 feet
 - b. *Side* – a minimum *Side Yard* of 30 feet shall be provided along all *Side Lot Lines*.
 - c. *Aggregate Side* – a minimum *Aggregate Side Yard* of 70 feet shall be provided on all *Lots*.

- d. Rear – a minimum *Rear Yard* shall be provided along all *Rear Lot Lines* as follows:
 - (1) *Primary Building* – 35 feet
 - (2) *Accessory Building* – 20 feet
6. *Maximum Building Height*
 - a. *Primary Building* – 35 feet
 - b. *Accessory Building* – 25 feet
7. *Minimum Main Floor Area* – The minimum *Main Floor Area* of the *Primary Building*, exclusive of *Garage, Carport, Deck, Patio, and open Porches*:
 - a. One-story Building – 3,000 square feet.
 - b. Two or more story *Building* – 2,000 square feet provided, that the total *Finished Floor Area* shall be at least 3,000 square feet.
8. *Off-Street Parking* – each *Dwelling Unit* shall be provided with at least two (2) *Off-Street Parking Spaces*.
9. *Signs* – will be as presented with these detailed development standards

ADDITIONAL AREA "A" AND "B" COMMITMENTS

1. The main street off of County Road 350 South (Hanna Road) will consist of a 36 foot wide pavement section, with a 80-foot wide right-of-way. No parking will be allowed on either side of the street. This road will become a part of the Town of Plainfield Perimeter Parkway. A six (6)-foot wide asphalt or concrete path will be constructed along the east side of the parkway.
2. A Six (6) –foot wide public walkway will be provided throughout the development as labeled and shown on the submitted plan.
3. Attached with this document is the single family product that will be substantially constructed within Area "A" of this subdivision.
4. All houses shall have a landscaping package as submitted with this detailed development standard. See attached per lot landscaping list.
5. All the homes shall have an attached garage capable of storing at least two (2) vehicles.
6. All homes shall have a hard surfaced driveway.
7. Satellite disks of no more than two (2') feet in diameter shall be the only antennae permitted.

8. A community clubhouse with an gravel access drive will be provided at the completion of the final lot sale from section I. At the completion of the final lot sale for section 2, there will be the addition of a swimming pool and tennis court to this facility.
9. No outside storage of unlicensed vehicles, RV's, trailers, boats or boat trailers shall be permitted.
10. No above ground pools shall be permitted.
11. All homes shall have uniform mailboxes for aesthetics as well as uniform street numbers.
12. A Home Owners Association shall be established for the development.

NOTTINGHILL
A P.U.D. DEVELOPMENT IN THE TOWN OF PLAINFIELD
E. 1/2, NW 1/4, SEC. 28, T. 15 N., R. 1 E., GUILFORD TOWNSHIP, HENDRICKS CO., INDIANA

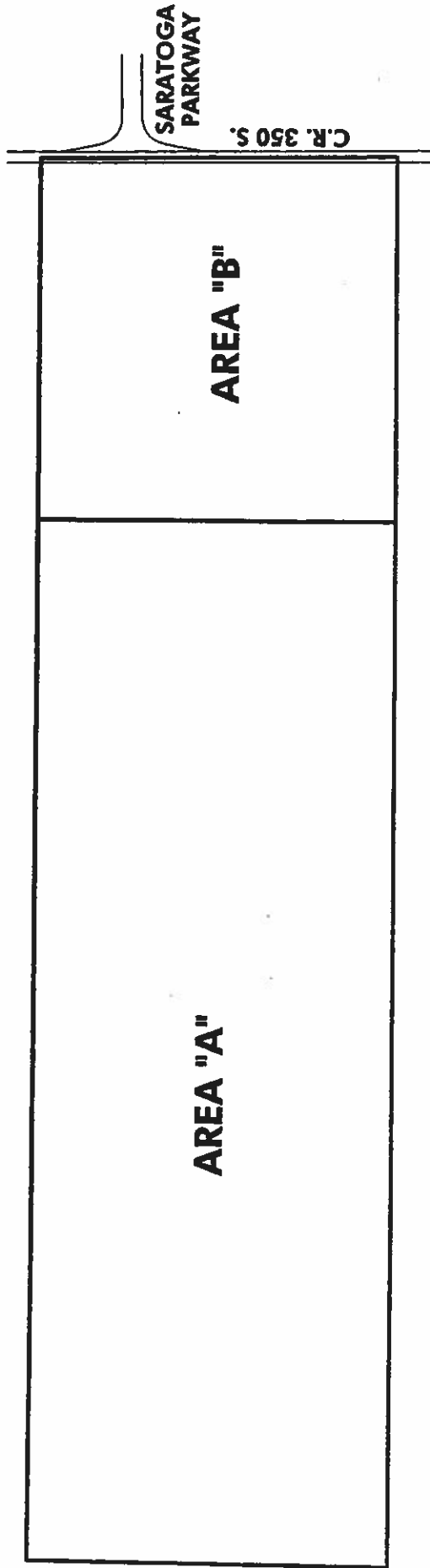
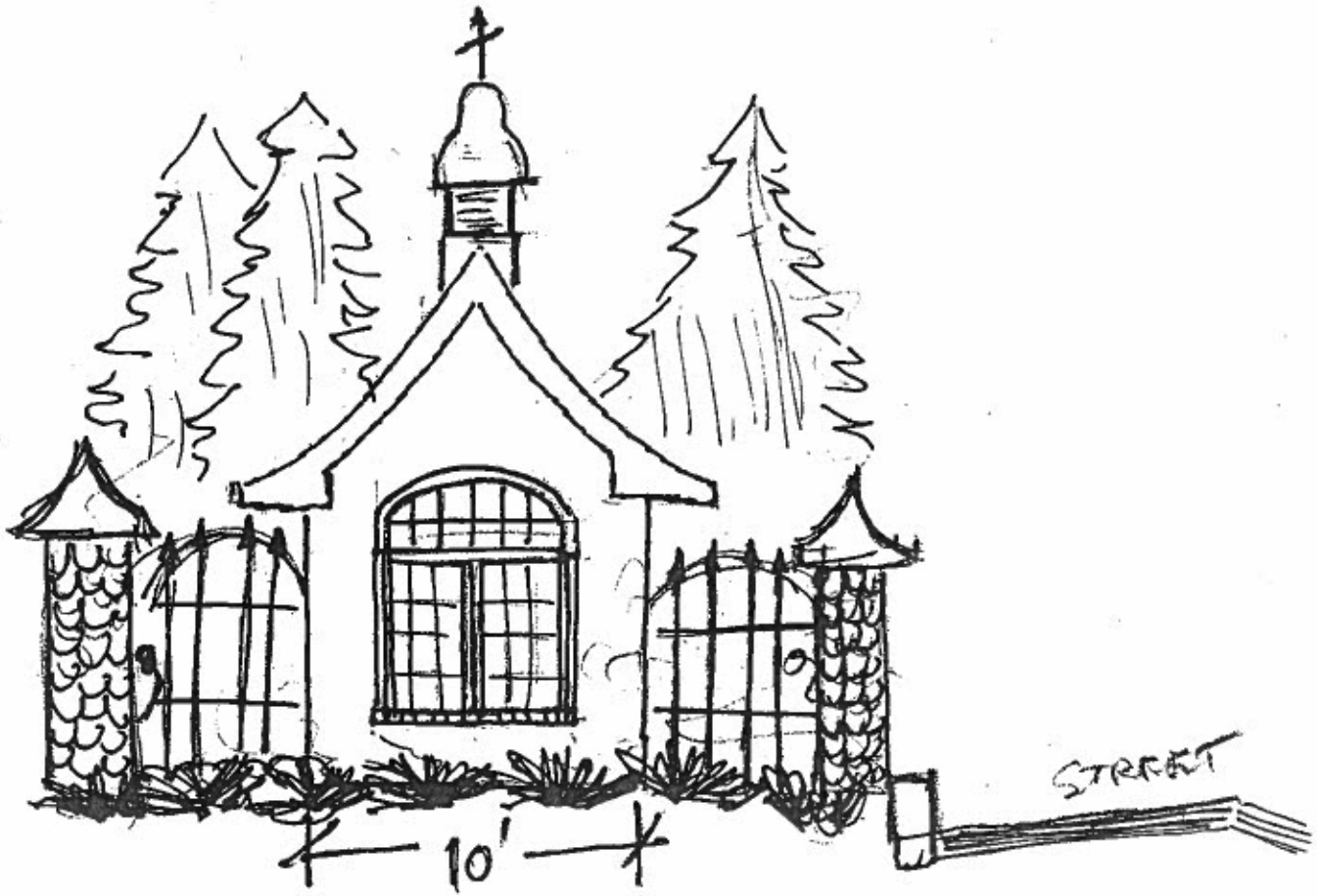
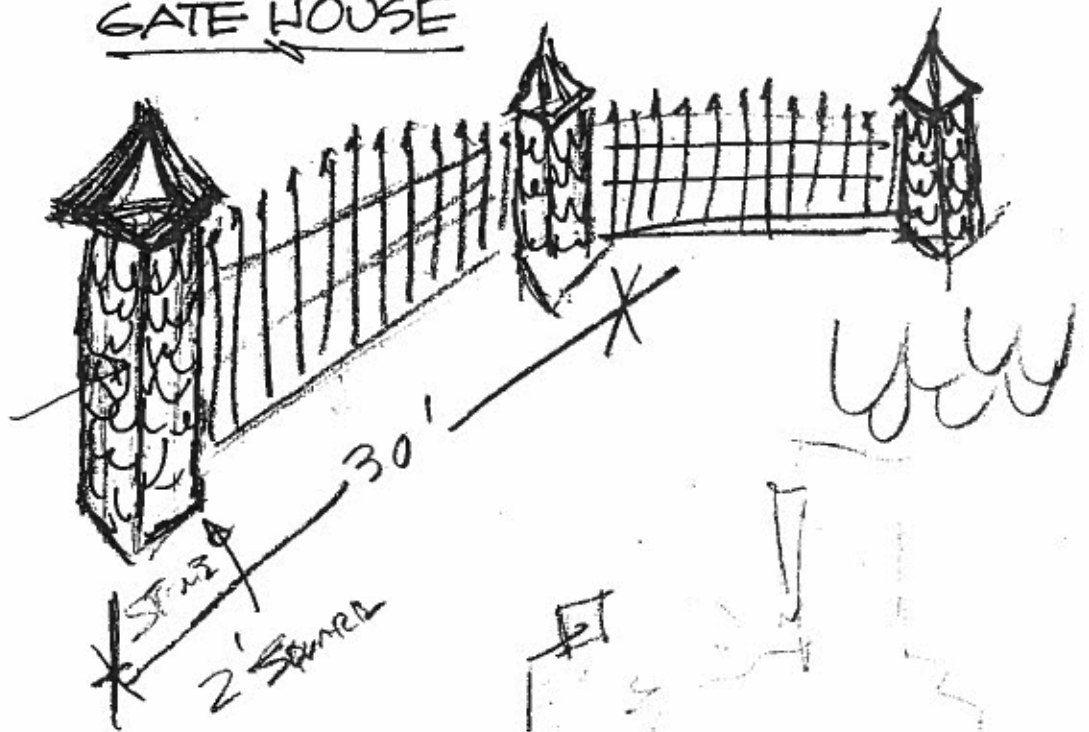


EXHIBIT "A"
GENERAL PRELIMINARY PLAN
SCALE 1" = 250'

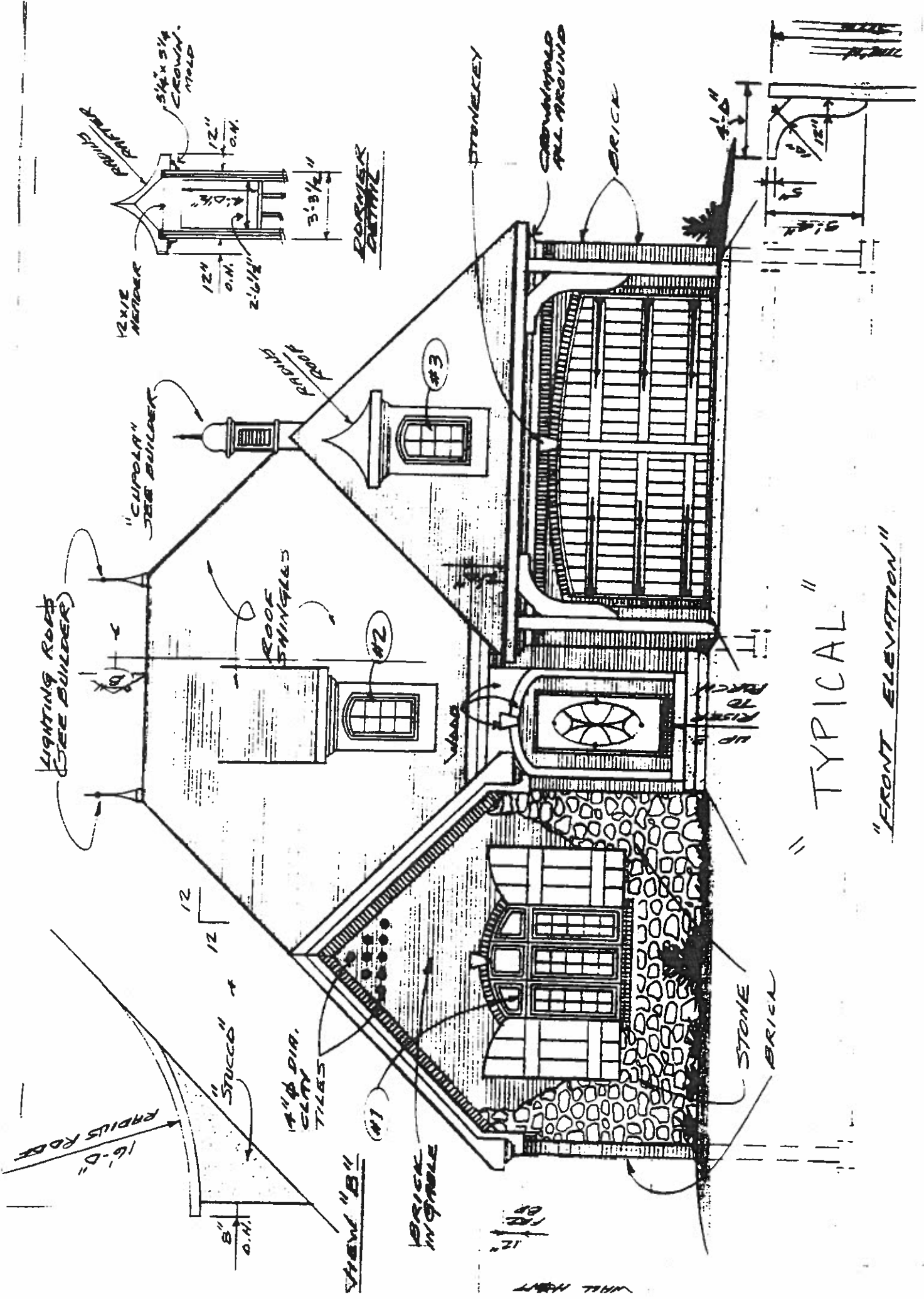




GATE HOUSE



PRELIMINARY
FOR REVIEW AND
DISCUSSION ONLY

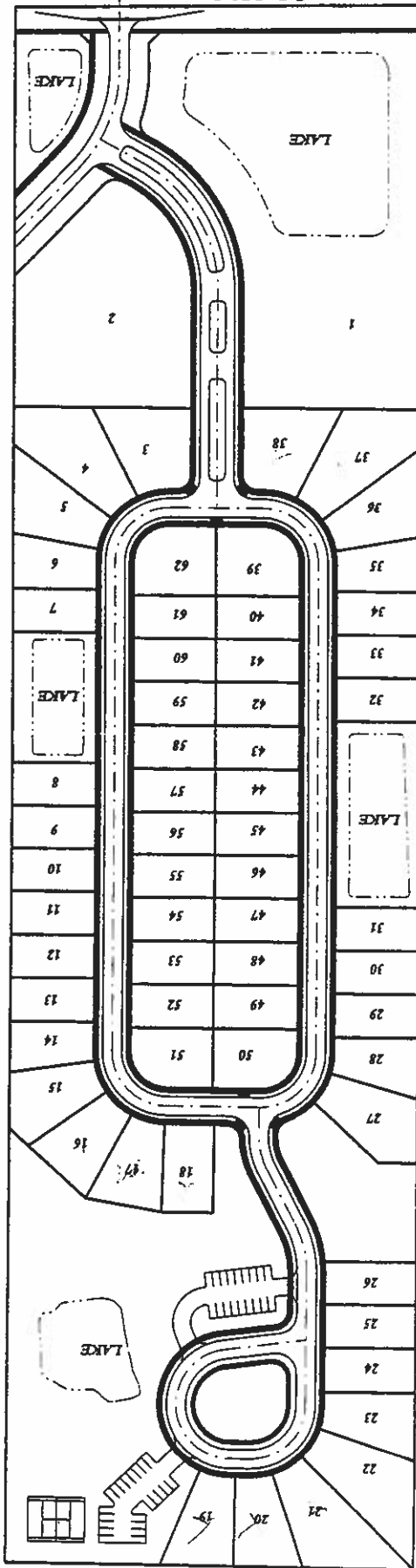


"TYPICAL" "FRONT ELEVATION"

WILL BE

SIDEWALK PLAN

C.R. 350 S.



SCALE 1" = 150'

