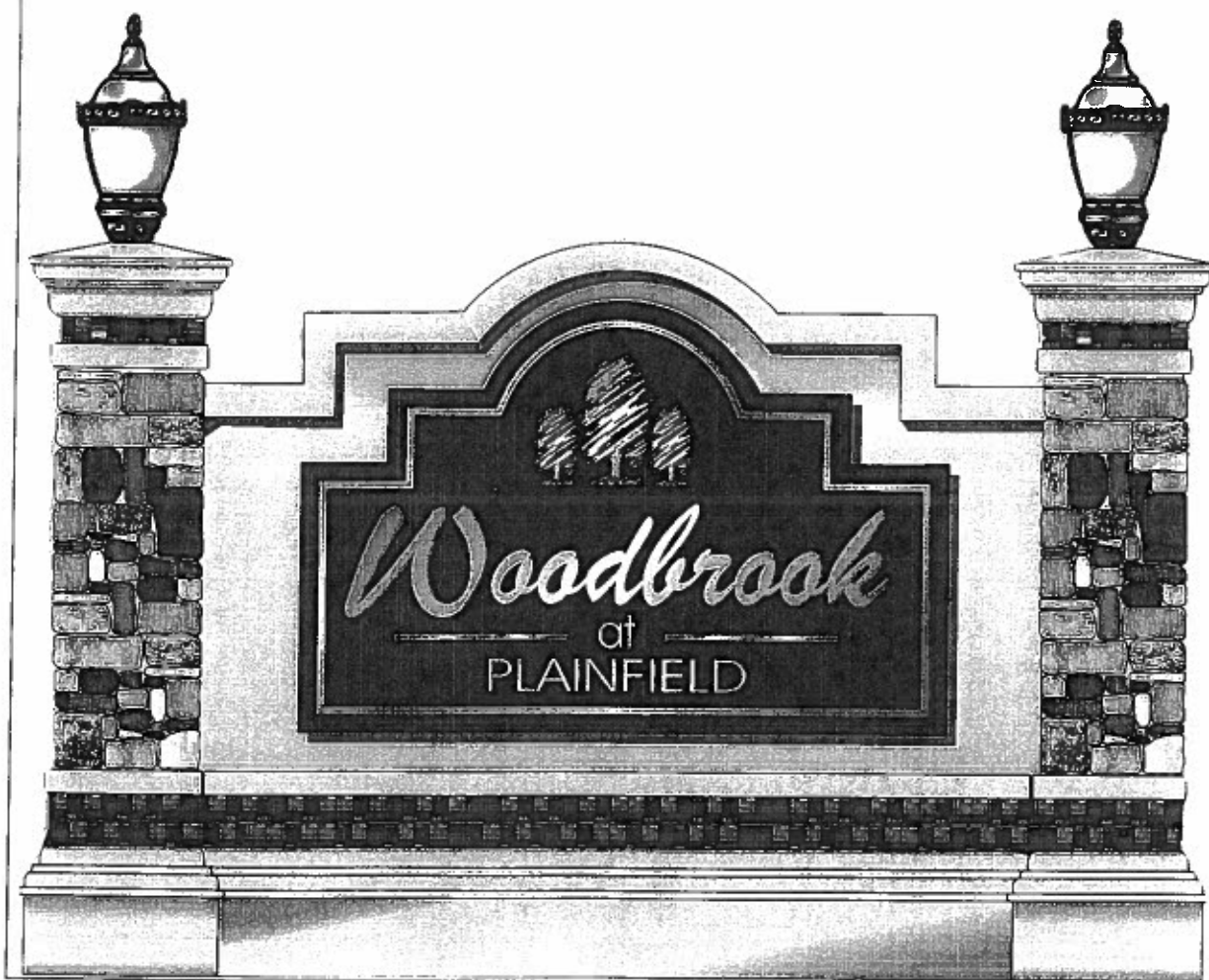




*Planned Unit Development*

*Plainfield, Indiana*

*May 12, 2000*



# Woodbrook at PLAINFIELD

## Introduction

Woodbrook at Plainfield is a proposed mixed-use Planned Unit Development including Single-family residential, a Daycare Center, Senior Residential Housing, an Assisted Living Center, and a Community Clubhouse and activity facility.

The development will encompass 81.6 acres and will include 3.30 – 3.46 single-family homes per acre, 6.0 single or duplex/patio dwelling units per acre, and accommodations for up to 125 residents in the Assisted Living Center. At least ten percent of the site is devoted to open space, which will include the Community Clubhouse and activity facility.

Woodbrook will provide a range of Single-family housing priced from \* \$130,000 to \$170,000. The Senior Independent Living units will be priced from \$90,000 to \$125,000.

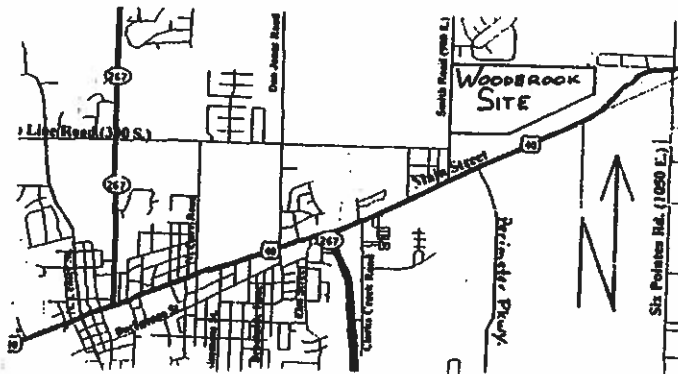
## The Real Estate

The site is located on the east side of County Road 900 East also known as Smith Road, on the northeast side of Plainfield, Washington -Township, in Hendricks County. The property is currently zoned for agriculture use and is currently being farmed. The site contains perimeter trees and is relatively flat. The land to the east is the Adesa – Indianapolis Auto Auction facility and is zoned General Commercial. The land to the west is unimproved agricultural. To the north, is a C.P. Morgan single-family subdivision, Westmere, with a density greater than 3.5 units per acre. To the south are existing older single-family homes and commercial businesses.

The proposed development is within a short driving distance to major shopping and service areas, including Plainfield Commons and Plainfield Shops and will be accessible to the proposed Perimeter Parkway extension.

Street Map

\* Year 2000 Dollars



## Woodbrook at PLAINFIELD

### *Proposed Land Uses*

- **Single-family** – Two neighborhoods will be offered with lot sizes of 5,500 to 8,500 square feet and pricing from \$130,000 to \$170,000.
- **Daycare Center** – The 5,000 to 8,000 square foot building will be owned and operated by a regional company with an established record and history. It will be available to the Woodbrook residents as well as others within the nearby communities.
- **Senior Independent Living** – Age 55 and over duplex/patio housing will be offered, consisting of either a maximum of 6 single story dwelling units per acre, or 3 single story duplex buildings per acre, including total maintenance of grounds and all common areas. These units will be constructed as single or duplex/patio dwelling units and priced from \$90,000 to \$125,000 per unit.
- **Assisted Living Center** – This facility will be a building having two stories containing 60,000 to 90,000 total square feet and would provide a secure and supervised setting in which the residents receive personal services and caring attention on a daily basis. The facility will include a library, card rooms, medical assistance rooms, housekeeping, laundry and linen services, and dining services. It will be owned and operated by a regional company with an established record and history. It will also provide employment opportunities for a minimum of 45 to 50 direct employees in Plainfield.
- **Community/Activity Center** – This facility will be a single story building containing a minimum of 2,500 square feet and will serve as a link for all members of Woodbrook at Plainfield Community. Its features will include: clubroom, library, exercise/fitness facilities, outdoor swimming pool, playground, leisure/picnic area, and tennis courts.

## *Woodbrook* at PLAINFIELD

### *Access and Transportation*

#### **Street Systems**

Woodbrook is located on County Road 900 East (Smith Road) between the abandoned railroad and County Road 200 South. It is located immediately north of the proposed "Perimeter Parkway" where it will cross Smith Road. Smith Road is designated as a "Collector" road according to the Plainfield Comprehensive Plan (last Amended August 25, 1997). The Comprehensive Plan indicates a required right-of-way of 70 feet (total width) for collector roads. Woodbrook provides for a right-of-way of 35 feet wide (1/2 width) for that part of Smith Road that it abuts which will be dedicated with the first plat. Additionally, local interior right-of-way will be dedicated as the development phases require.

Woodbrook proposes a site plan that provides for boulevard entries and a round-a-bout. The site plan provides an interior local collector street with two connections to Smith Road. The lands proposed for development within Woodbrook will only gain their access through the proposed interior local collector street.

#### **Pathways**

A pathway was constructed along the easterly side of Smith Road as a part of the C.P. Morgan project to the north of Woodbrook. Woodbrook proposes to duplicate this pathway's configuration and style along that part of Smith Road that it abuts.

In addition, Woodbrook proposes to construct a pathway along one side of the proposed interior local collector street. This pathway will connect to the Smith Road pathway and connect the neighborhoods in Woodbrook to the adjoining communities and services. Per covenants, all local streets will have 4' wide concrete sidewalks on both sides.

## *Woodbrook* at PLAINFIELD

### *Utilities and Drainage*

#### **Sanitary Sewers**

There are existing sanitary sewers to the south and north of Woodbrook serving existing developments and neighborhoods. However, according to the Public Works department, these facilities are at, or near, capacity.

According to Mr. Belcher, Town Engineer, the sewer master plan for this part of Plainfield provides for service to this site through improvements to existing facilities and extension of new interceptor lines from the lift station on Clarks Creek north of US 40 to County Road 300 South and then east along this road to a location at the southwest corner of Woodbrook.

Mr. Belcher has indicated that the town would work with Woodbrook, subject to Town Council's approval to implement segments of this master plan to provide sewer service for the development.

#### **Waterlines**

There is an existing 12 inch waterline along Smith Road abutting Woodbrook. There is also an existing 12 inch waterline stubbed to the southerly line of Woodbrook in a utility easement along the location of the Big "O" Tire Store. It is intended that Woodbrook be served by extensions of these lines into and through the development.

According to Mr. Belcher, Town Engineer, some water supply issues exist in this part of the service area. This part of the service area has sufficient water volume but has a lack of water pressure.

Mr. Belcher has indicated that the town is currently working on a solution to this issue, and hopes to have it implemented before Woodbrook would have a need for water service.

## *Woodbrook* at PLAINFIELD

### **Drainage**

The site generally drains from the east to west and collects to two release points. One release point is to the northwest through an existing culvert pipe under Smith Road. The drainage area to this point is less than ten acres. The second release point is near the southwest corner of Woodbrook through existing culvert pipes under the abandoned railroad along the southerly line. The drainage area to this point is between 80 and 90 acres, including off-site contributing areas.

It is proposed to collect the storm water runoff through local swales and underground storm pipes and direct it to a series of detention ponds throughout Woodbrook. These ponds will be interconnected by the storm sewer network and be directed to the release point under the abandoned railroad.

According to Mr. Belcher, Town Engineer, a development is proposed immediately downstream of our proposed release point. It is through this proposed project that storm water from Woodbrook will be released. The release rate and location of the release point will be coordinated with this project through the Town of Plainfield.

## *Woodbrook* at PLAINFIELD

### *Covenants and Controls*

Each residential use will be controlled by a Homeowners Association as well as a Master Development Control Committee that will administer architectural, landscape, and design approvals. The following will be required and integrated into each section of the development: landscaped entry ways, tree lined streets, common area landscaping, street lighting, public sidewalks along both sides of the local residential streets, aesthetically planned ponds, uniform mailboxes, uniform signage for entrances, streets, and traffic control. Additionally, there will be a mandatory membership to the Homeowners Association that will be responsible for maintaining the common area.

### *Commitments*

Commitments will be provided prior to the Plan Commission on or before the public hearing on June 5, 2000 for review, including building standards and materials that will be required in each area of the development.

# Woodbrook at PLAINFIELD

## Order of Development

The development of Woodbrook is expected to begin in the Fall of 2000 if all public utilities are in operation. The development schedule will follow the outline below.

Phase One: 40 Acres Fall 2000	Phase Two: 8 Acres Spring 2001	Phase Three: 33 Acres Fall 2001
Woodbrook Section A Woodbrook Section B Senior Residential Housing	Assisted Living Center Daycare Center Community Center	Balance of Woodbrook Section A Balance of Woodbrook Section B Balance of Senior Residential Housing